

PLANNING COMMITTEE REPORT

Development Management Service
Planning and Development Division
Environment and Regeneration
Department
PO Box 3333
222 Upper Street
LONDON N1 1YA

PLANNING SUB COMMITTEE A		
Date:	8 th September 2016	NON-EXEMPT

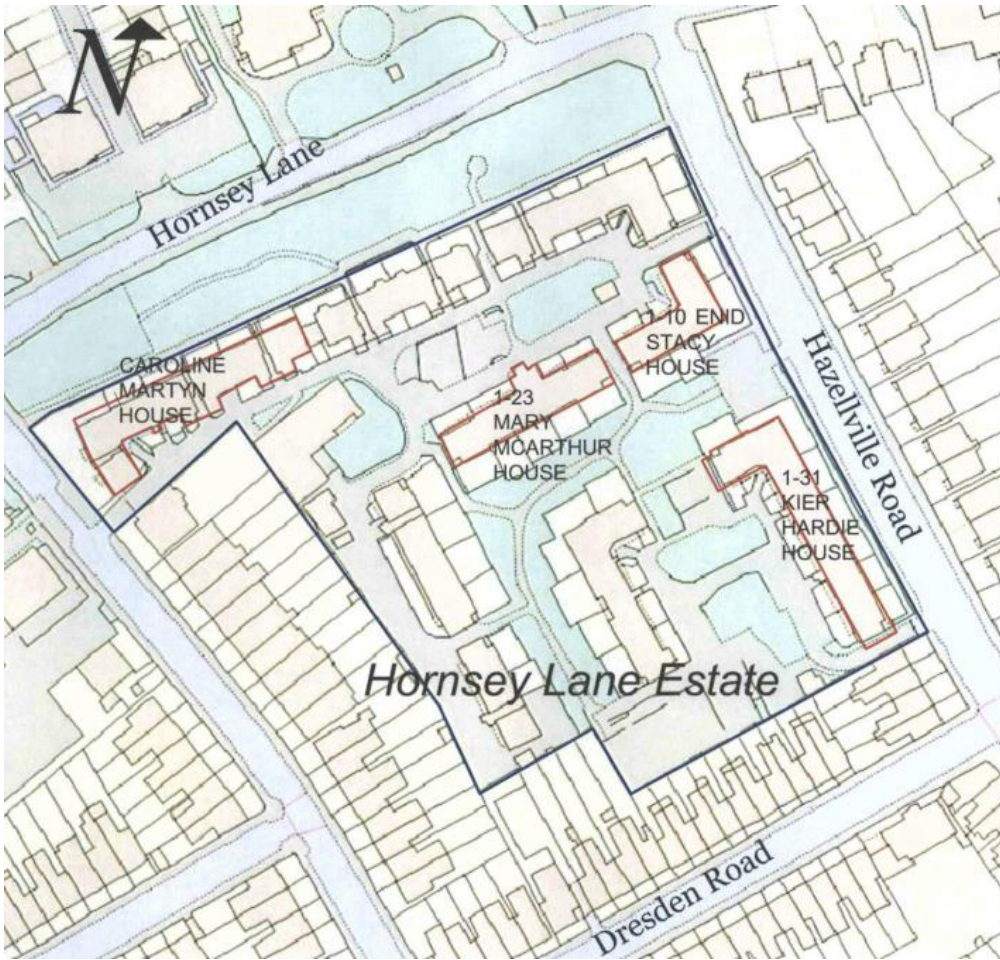
Application number	P2015/0890/FUL
Application type	Full Planning (Council's Own)
Ward	Hillrise
Listed building	Not listed
Conservation area	Whitehall Park
Development Plan Context	N/A
Site Address	Hornsey Lane Estate - Caroline Martyn House, Enid Stacey House, Mary Mcarthur House and Keir Hardie House, Hazellville Road, London, N19
Proposal	Replacement of existing single glazed timber/plastic coated windows with double glazed UPVC windows.

Case Officer	David Nip
Applicant	Islington Council – Dennis Dyer
Agent	Mears Projects

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to the condition set out in Appendix 1.

2 SITE PLAN (SITE OUTLINED IN BLACK)



3 PHOTOS OF SITE/STREET

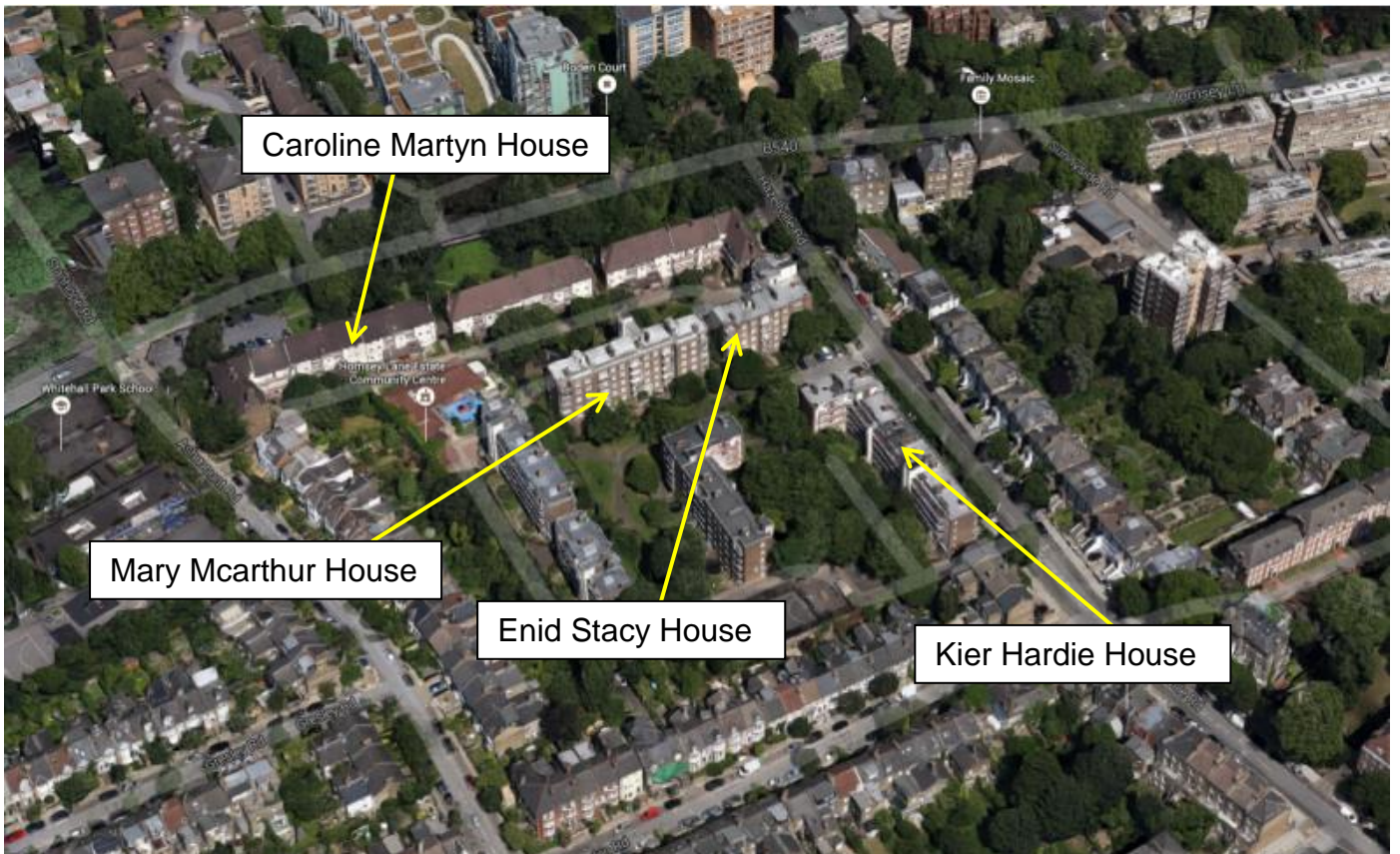


Image 1: Aerial image of Hornsey Lane Estate.



Image 2: West (rear/courtyard) elevation of Kier Hardie House.



Image 3: West (courtyard) elevation of Enid Stacy House.



Image 4: North (courtyard) elevation of Mary McArthur House.



Image 5: South and East elevations of Caroline Martyn House.

4 SUMMARY

- 4.1 The application seeks planning permission for the replacement of existing uPVC clad timber windows with double glazed uPVC windows. The application relates to four residential blocks situated within the Hornsey Lane Estate; namely Nos. 1-31 Kier Hardie House, 1-10 Enid Stacy House, 1-23 Mary McArthur House and 1-21 Caroline Martin House. The estate forms part of the Whitehall Park Conservation Area. The building elevations which front the highway (except Mary McArthur House) have original timber windows. However, the rear elevations which face internal courtyards have a degree of variation, with timber, uPVC and uPVC clad timber framed windows in the wider estate. Over time this has deteriorated the uniformity of the rear elevations of the buildings. It is noted that planning permission was granted for the replacement uPVC windows in the past to three of the blocks within the estate (Bruce Glasier House, John Wheatley House, and Margaret McMillan House).
- 4.2 The proposal affects the rear elevations of the blocks. Although there would be some harm caused to the appearance of the buildings by the new REHAU uPVC units, it is considered that given the existing appearance of the buildings, their location to the rear of the blocks, and the lack of consistency in materials of the existing windows, the proposed alterations and replacement windows would provide a more uniform appearance to the rear and side elevations of the four blocks in question. The proposal would not cause substantial harm to the streetscene and wider Conservation Area.
- 4.3 It is also considered that the proposed uPVC windows and the provision of double glazing would improve the sustainability and thermal efficiency of the residential units. As such the proposal is considered acceptable and recommended for approval subject to conditions.

5 SITE AND SURROUNDING

- 5.1 The application site is situated on the southern side of Hornsey Lane; it comprises a number of low rise blocks known as Hornsey Lane Estate. The estate was built in the 1930s and forms part of the Whitehall Park Conservation Area within the Hillrise Ward. The area includes a variety of residential properties with differing architectural qualities and styles, with some late Victorian properties located on the Hazellville Road.
- 5.2 A total of 85 properties are situated within these four buildings. The design and architectural features of the buildings are varied:
- **1-31 Kier Hardie House** and **1-10 Enid Stacy House** are two five storey buildings fronting Hazelville Road. Only the courtyard elevations are subject to this application, the east elevations which front Hazelville Road are not subject to change and the timber windows would be or repaired or retained.
 - **1-23 Mary McArthur House** is a five storey building which is situated in the middle of the Estate, away from Hornsey Lane and Hazellville Road. The proposed replacement windows are located on the north elevation.
 - **1-21 Caroline Martyn House** is a three storey building which is situated on the corner of Hornsey Lane and Ashmount Road. The front (north) and side (west) elevation of Caroline Martyn House would not be affected by this application, only the rear elevations are subject to change.

6 Proposal (in Detail)

- 6.1 The application seeks planning permission for the installation of uPVC double glazed windows to replace existing windows to four of the blocks within the Hornsey Lane

Estate. The elevations which front the public highway (Hazellville Road, Hornsey Lane and Ashmount Road) are not subject to this application.

- 6.2 The application was revised in June 2016 to revise the proposed window profile and the elevation treatment. The thickness of the frames and design of the uPVC materials have been discussed extensively and alternative options were explored. The latest proposal comprises a flush window profile, rather than a chamfered profile in an attempt to reduce the visual impact caused by the new uPVC windows.
- 6.3 Further information has been submitted in relation to the proposed REHAU window system in June 2016, with regard to its use of recyclable uPVC profiles and its sustainability performances.

7. RELEVANT HISTORY

Planning Applications:

- 7.1 **P060137 33-53 Kier Hardie House & 1-23 Mart McArthur House** - Replacement of windows and doors with new double glazed sealed units. Frames to be constructed from timber. **(Approved 17/05/2006)**
- 7.2 **P061540 Bruce Glasier House, John Wheatley House** - Replacement of PVCU clad timber windows with double glazed UPVC windows in Bruce Glasier House and John Wheatley House. **(Approved 25/01/2007)**
- 7.3 **P062298 Margaret Mcmillan House** - Replacement of existing PVCU clad timber windows with double glazed white UPVC windows to rear. **(Approved 14/03/2007)**
- 7.4 **P2014/3189/FUL Nos. 4, 9, 10-37 Legion Close, London, N1 1PJ** - Replacement of existing single glazed timber windows with UPVC double glazed windows. **(Approved 14/10/2015)**

Enforcement:

- 7.5 None Relevant.

8 CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants at 246 adjoining and nearby properties on the 10/03/2015. A site notice was also displayed and press advert was also published in local paper. Following amendment to the drawings, further consultations were carried out on 26/02/2016 and 15/06/2016 respectively and the consultation therefore expired on the 14/07/2016. In total, 6 letters of objection and 1 letter of support have been received. The following issues were raised (and paragraph numbers responding to the issues are included in brackets).

- 8.2 Objections:

- The proposed uPVC units would replace wooden framed windows on site; the previous replacement uPVC windows have negatively affected the appearance of the buildings and the surrounding estates. The proposal would cause visual harm to the appearance of the buildings and the surrounding conservation area, and would be contrary to the Whitehall Park CA Guidance; (para. 10.2 - 10.6)

- The proposed uPVC is not a sustainable material; replacement with timber windows would be more cost effective in long term; (para. 10.7 – 10.8)
- The proposed windows, due to the increasing thickness of frames, would reduce the amount of sunlight reached into the interior of the flats; (para. 10.9)
- No obscure glazing for the windows serving bathrooms and toilets; (para. 10.9)
- There was a window missing on the proposed elevation of Mary McArthur House; (**Officer Note:** *drawing has been corrected and re-consultation has been carried out on 15/06/2016*)
- The proposal consists of blank uPVC panels; (**Officer Note:** *uPVC panels have been replaced by obscure film with glazing, re-consultation has been carried out on 15/06/2016*)

8.3 Support:

- The proposed uPVC windows would require less maintenance and would have a longer lifespan;
- The proposed windows would provide better thermal insulation, which will improve energy efficiency;
- The replacement uPVC windows would be cheaper than replacement wooden windows;
- The proposed windows would have a lower carbon footprint as uPVC is recyclable, it would have minimal impact on fossil fuels in comparison to other materials.

Internal Consultees

8.4 **Design & Conservation:** The proposed replacement of the existing uPVC coated timber windows with new uPVC windows is considered acceptable in principle in this case as the windows are to the rear and only the windows that are already uPVC coated will be replaced. Existing timber windows are to be retained and repaired where necessary.

External Consultees

8.5 None.

9 REVELANT POLICIES

9.1 Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the relevant development plan policies and documents.

National Guidance

9.2 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

9.3 The National Planning Practice Guidance is a material consideration and has been taken into account as part of the assessment of these proposals

Development Plan

9.4 The Development Plan is comprised of the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013. The policies of the Development Plan are considered relevant to this application and are listed at Appendix 2 to this report.

Supplementary Planning Guidance (SPG) / Document (SPD)

9.5 The relevant SPGs and/or SPDs are listed in Appendix 2.

10 ASSESSMENT

10.1 The main issues arising from this proposal relate to:

- Impact on the character and appearance of the existing buildings and the Conservation Area
- Sustainability

Design and Conservation

10.2 The estate subject to this application has undergone a number of repairs and improvement works in the past. There were two planning permissions at the site which were approved for replacement uPVC windows and doors to be installed on Bruce Glasier House, John Wheatley House (P061540) and Margaret McMillan House (P062298). Also, it was observed that uPVC or uPVC coated windows have been installed on the blocks without planning consent to individual units by occupiers. The existing fenestration comprises a variation of timber and uPVC windows. The elevations which front the public highways all contain timber windows of original form; however, the rear and courtyard elevations are dominated by uPVC windows.

10.3 The submitted plans details that the proposed window profile would have slightly thicker frames than the existing uPVC windows at the site. However, the proposed windows would have a flush profile, not chamfered, which would ameliorate some of the visual impact caused by the proposal by reducing their visual bulk. A sample was also provided to officers. A compliance condition is recommended requiring the materials to be consistent with the details provided in this application.

10.4 As set out above, some of the properties within the estate have already altered the window frames from the original timber frames to either uPVC or uPVC coated frames. The proposed replacement works would achieve a more consistent and uniform fenestration design, it is considered that this would also improve the appearance of the buildings and the Estate as a whole. Overall, it is considered that the proposal would not have undue harm on the architectural integrity of the existing building.

10.5 The proposed replacement windows would largely not be visible from the streetscene and would have a limited effect towards the visual amenity of the wider conservation area. Compared to the surrounding terrace and semi-detached properties, the estate is set in its own context. The Whitehall Park Conservation Area Design Guidelines suggests that Victorian terraces shall retain their original appearance by using traditional materials. However, due to the specific circumstances of this case; it is considered that replacement uPVC material with the appropriate design would be acceptable as it would provide consistency to the blocks, and would not result in material harm to the setting of the conservation area to justify a refusal of planning permission.

10.6 Overall, it is considered that the proposed replacement windows would create a more uniform and consistent appearance to the rear elevations of the building. The proposed double glazed windows would not result in significant harm to the appearance of the building and the setting of the conservation area. The more prominent front elevations of the blocks still have timber windows which are not affected by this application. Having paid special attention to the desirability to preserve or enhance the character and

appearance of the area, it is considered that the less than substantial harm caused to Conservation Area would not outweigh public benefits that would be gained by the proposal. It would therefore on balance comply with the NPPF, London Plan 2015, CS policies 8 & 9, DM policies DM2.1, DM2.3, Islington's Urban Design Guidance 2006 and the Whitehall Park CA Guidance 2002.

Sustainability

- 10.7 The proposed double glazed uPVC windows would improve the thermal efficiency of each unit thereby contributing to reducing energy usage. Whilst the proposed uPVC is not ideal due to its non-biodegradable nature, the applicant has indicated that the materials themselves can be recyclable in the future.
- 10.8 The applicant also indicates that the lifespan of the windows would be approximately 30 years and can be maintained as has been done recently, by the Council, on other estates in the borough including Legion Close within Barnsbury ward.

Other issues

- 10.9 The representations received make reference to the impact on access to daylight and sunlight as a result of the proposal. According to the submitted plans, it is true that the frames would be slightly thicker than the existing single glazed uPVC coated windows, however, it is considered that due to the minimal loss in glazed area this would not be harmful to the occupiers. Concerns were also raised that obscure glazing should be used for bathroom windows, however, measures such as obscure glazing/films or curtains can be applied or installed to the windows at occupiers' preference, in order to adequately protect the privacy of the flats. It is considered that this can be achieved outside planning control.

11. SUMMARY AND CONCLUSION

Summary

- 11.1 The proposed replacement windows would improve the appearance and provide more consistent fenestration for the elevations subject to this application. Having paid special attention to the desirability to the location of the site within a conservation area it is considered that the proposed replacement windows would not cause significant harm to the buildings and would preserve the character and appearance of the Whitehall Park Conservation Area. The proposed double glazed uPVC units would also improve the sustainability and thermal efficiency of the residential units on site.
- 11.2 The proposed development is acceptable and on balance would not result in unacceptable harm to the application site or the Whitehall Park Conservation Area. It would improve the overall sustainability of the buildings and would therefore be in accordance to the Council's Development Management policies DM2.1, DM2.3 and DM7.2.

Conclusion

- 11.3 It is recommended that planning permission be granted subject to conditions as set out in Appendix 1 – RECOMMENDATION A.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the Committee resolve to GRANT planning permission subject to conditions to secure the following:

List of Conditions:

1	<p>Commencement</p> <p>3 YEAR CONSENT PERIOD: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	<p>Approved Plans</p> <p>DRAWING AND DOCUMENT NUMBERS: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>[Design and Access Statement July 2015, CMH001 rev.001, CMH002 rev.001, CMH011 rev.005, CMH012 rev.004, MMAH001 rev.002, MMAH002 rev.002, MMAH003 rev.001, MMAH004 rev.001, MMAH012 rev.005, KHH001 rev.001, KHH002 rev.001, KHH003 rev.002, KHH004 rev.002, KHH013 rev.002, KHH014 rev.005, ESH001 rev.001, ESH002 rev.001, ESH003 rev.001, ESH004 rev.001, ESH012 rev.005, ESH021 rev.005, HL SLP, REHAU product brochures, REHAU Sustainability Report, U Value Calculation sheet]</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
3	<p>Materials</p> <p>MATERIALS (COMPLIANCE) CONDITION: The development shall be constructed in accordance with the schedule of materials noted on the submitted plans, the window material hereby approved shall be REHAU Total 70 Intermediate (62mm) Fully Reversible Sash. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>

List of informatives:

1	<p>Positive Statement</p> <p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged. Whilst this wasn't</p>
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	<p>taken up by the applicant, and although the scheme did not comply with guidance on receipt, the LPA acted in a proactive manner offering suggested improvements to the scheme (during application processing) to secure compliance with policies and written guidance. These were incorporated into the scheme by the applicant.</p> <p>This resulted in a scheme that accords with policy and guidance as a result of positive, proactive and collaborative working between the applicant, and the LPA during the application stages, with the decision issued in a timely manner in accordance with the NPPF.</p>
2	Building Control
	<p>The Building Acts and Building Regulations: To ensure compliance with the Building Acts and Building Regulations, you should contact the Building Control Service regarding the development and any intended works.</p> <p>T: 020 7527 5999 E: building.control@islington.gov.uk</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1. National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

2. Development Plan

The Development Plan is comprised of the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2015 - Spatial Development Strategy for Greater London

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

5 London's response to climate change

Policy 5.3 Sustainable design and construction

7 London's living places and spaces

Policy 7.1 Building London's neighbourhoods and communities

Policy 7.4 Local character

Policy 7.6 Architecture

Policy 7.8 Heritage assets and archaeology

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design

DM2.3 Heritage

DM7.2 Energy Efficiency and carbon reduction in minor schemes

3. **Supplementary Planning Guidance (SPG) / Document (SPD)**

The following SPGs and/or SPDs are relevant:

- Islington Local Development Plan
- London Plan
- Sustainable Design & Construction
- Conservation Area Design Guidelines (Whitehall Park)
- Urban Design Guide